



The following specifications are made in general form and not all sections or materials pertain to this project. In the case of conflict between the specification on this page and specifications shown elsewhere in this drawing set, the specifications shown on the drawings shall take precedence.

#### Division 00 - 000. Procurement and Contracting Requirements.

##### 02 00 - Supplementary Instructions to Bidders

Site visitation: prior to submitting a bid price for the work, the contractor shall visit the site and verify all conditions in the contract documents and inform the architect of any discrepancy prior to execution of the work.

##### 0050 - Certificates

All bonding and insurance requirements shall be coordinated with the Owner prior to beginning construction. Contractor shall additionally insure the Architect and its consultants. Provide Architect with AICORD insurance certificate prior to start of construction

#### Division 01 000. General Requirements

##### 01 100 - Additional General Requirements

In addition to the General Conditions the following conditions shall apply: The contractor shall furnish all labor, materials, tools, equipment, appliances, transportation, hauling, etc. To complete, in a workmanlike manner, everything shown, called for or reasonably implied in the program or in these specifications.

Contractor shall review construction documents and provide labor and materials pertaining to excavation as required in said documents and as specified herein, while complying with all applicable building codes.

**Guarantee:** all workmanship and materials shall be guaranteed for a minimum period of one year after acceptance by owner, unless otherwise specified.

**Damages:** for the duration of the construction period, the contractor shall assume full responsibility for all damages caused by his workers or subcontractors' workers. The contractor shall repair and/or replace all broken parts, including glass, as well as any damage to the work. All openings due to construction in exterior walls and roofs of the existing structure shall be carefully protected with temporary closures to prevent the entrance of any water, snow or ice into interior spaces. Any damage from water, snow or ice shall be fully repaired by the contractor at no cost whatsoever to the owner.

**Clean-up:** In addition to the normal clean-up each day, it is expected that the contractor will keep the entire premises free of debris, discarded material, etc.

**Workmanship:** It is assumed that all work will be performed by workers who are skilled and experienced in their respective trades. All installations shall operate properly in a first-class manner. Workmanship shall conform to the best trade practices. Finished surfaces shall be plumb and level, straight and free of imperfections and set firmly to accurate measurements. Finished concrete shall be clean and free of covering materials, loose or foreign materials, etc. **Extra charges:** will be allowed only when authorized in writing by the owner before the work is incurred.

**General cleaning:** upon completion of construction, the contractor is to clean the exterior of the structure and the site, removing all stains, debris, etc. Resulting from construction. The contractor shall also clean all interior areas of the structure in the areas of new work. All glass, inside and out, shall be completely cleaned.

**Recycling:** contractor shall designate a location on site and a hauler/recycler for collection of recyclables/waste materials from demolition and construction activities.

##### 01 500 - Temporary Facilities and Controls

**Temporary Utilities -** Contractor to provide and install temporary power for construction site if required. Connect to existing power service without increasing the capacity of the service. Workmanship shall be of the highest quality and be compatible with the service from which it is taken. Size, type and loading shall be per requirements as established by the National Electric Code (NEC). The contractor shall provide main service disconnect and over-current protection at a convenient location in accordance with the NEC. The Contractor shall provide power outlets for construction operations, with branch wiring and distribution boxes located as necessary and shall provide flexible conduit for each outlet. Provide and install distribution equipment, wiring and outlets to provide single phase branch circuits for power and lighting.

**Sanitary Facilities -** Existing facilities shall not be used. Contractor shall provide and maintain in a use and sanitary condition such accommodations for the use of his employees as will comply with laws and regulations. Temporary toilet facilities may consist of portable toilets. Sanitary facilities shall be clean and in sanitary condition until the completion of the work and then shall be removed from the site. Upon removal the site shall be properly cleaned and graded.

**Temporary Barriers and Enclosures -** The contractor shall provide barriers to prevent unauthorized entry into construction areas and to protect existing facilities and adjacent properties from damage from construction operations and demolition.

##### 01 600 - Production Requirements

All materials shall be installed in strict accordance with the manufacturer's written specifications and in accordance with the manufacturer's specifications mentioned that are required to make the work complete and operational shall be included.

**Installation and Storage -** All materials, supplies and equipment shall be installed per manufacturer's recommendations and per applicable codes and requirements. Materials stored on site shall be protected from damage by moisture, wind, sun, adverse conditions that contribute to mold and mildew, or any other harmful effects.

**Substitutions -** All substitutions shall be approved by Architect prior to purchasing. Architect may reject substitutions for any reason and without cause.

##### 01 700 - Execution and Closeout Requirements

The execution of all work shall be in strict accordance with these specifications and manufacturer's written specifications or Materials Institute Standards. All work not specifically mentioned that is required to make the work complete and operational shall be included.

**Codes -** Construction shall comply with all applicable national, state and local building codes.

**Measurements -** The Contractor shall check and verify all dimensions and conditions before proceeding with construction. Do not scale drawings. Noted dimensions take precedence.

**Workmanship -** Workmanship shall conform to the best of highest standards of quality in each trade and shall include all items of fabrication, construction and installation. All work shall be completed by skilled tradesmen and mechanics. Installation of all equipment and materials shall be in strict accordance with manufacturer's recommendations.

**Cleaning and Waste Management -** Construction site to be in a clean and orderly condition throughout the construction process. Clean interior spaces prior to the start of finish painting and the application of other finishes. At the conclusion of construction, the project shall be properly cleaned. This should include but not be limited to cleaning the interior and exterior glass, surfaces exposed to view, remove temporary labels, stains and foreign substances, polish transparent and glossy surfaces, carpets and soft surfaces, sweep and mop all tiled surfaces, etc. Replace filters of operating equipment. Clean equipment and fixtures to a sanitary condition. Clean exterior such as debris from gutters, landscape areas, driveways and walks, etc. Remove all waste and surplus materials.

**Protecting Installed Construction -** Contractor to protect all installed construction. If products or materials require a protective coating, contractor shall maintain protective coating until construction is complete. Contractor shall replace any items that become defective or damaged.

**Operation and Maintenance Data -** Contractor to provide Owner with all operation manuals, warranty information and training on use of systems.

#### Division 02 000 - Site Construction

**02 300 - Site Preparation**  
Contractor shall follow soil and erosion control and Best Management Practices (BMP) of Authorities Having Jurisdiction.

**Demolition -** Provide all labor, materials and equipment to be removed by the contractor. Provide adequate lighting, shoring, bracing, and other safety or parking, abandoned utilities and structures which interfere with the proposed construction. When required install chain link fencing around the area of demolition work. Protect all adjacent areas not to be demolished. Remove all debris from job site before construction begins.

##### Remediation

Contractor to abate any hazardous material or substance before beginning construction. Contractor shall contract with a properly licensed and qualified hazardous material contractor.

##### 02 300 - Earthwork

**Shoring and Underpinning -** Existing footings, foundations, pile caps, grade beams or retaining walls or pavement which may be affected by excavation operations shall be shored or underpinned adequately or otherwise protected against settlement and shall be protected against lateral movement. Provide necessary materials and back earthwork excavations and as required to prevent cave-ins and earth sloughs.

**Excavation Support and Protection -** Install excavation support systems to safely presentations. Design criteria shall be based on the anticipated support system shall consider all loads in a manner which will allow the safe and expeditious construction of permanent structures without movement or settlement of the ground. Shoring, including steel piling, shall be furnished and installed as necessary to protect workers, banks, adjacent paving, structures and utilities. Shoring, bracing and shoring shall be removed as excavations are backfilled, in a manner to prevent caving.

**Excavation -** Excavate as required for all construction, utilities, paving and equipment as indicated or as necessary. Excavation shall be performed so that the area of the site and the area immediately surrounding the site and affecting operations at the site will be continually and effectively drained. Water shall not be permitted to accumulate in the excavation. The excavation shall be drained by an established gravity method or by methods to prevent softening of the foundation bottom, undercutting of footings, or other actions detrimental to proper construction procedures.

**Trenching for underground utilities systems and drain lines shall be excavated to the required alignments and depths. The bottoms of trenches shall be graded to secure the required slope and shall be tamped to provide a uniform firm pipe bed.**

The contractor shall be required to verify the existence and location of all underground utilities. All existing utilities shall be marked, identified and protected from damage during construction. Backfill as required for all excavation. Backfill in layers not more than 6 inches in depth and taper to proper dry density compaction. Backfilling shall not take place until floor framing and plywood is installed.

Contractor shall excavate to firm, solid bearing for all footings, walls, etc. To local authority's requirements and below the frost line.

##### 02 400 - UTILITIES

Install necessary utility services, such as electricity, water, gas and oil, sanitary sewerage and support structures for power and communications. Coordinate requirements with local utility providers. All utilities shall be located underground from street to building, unless otherwise stated. Utility Connection Fees paid to a utility shall be paid directly by the owner with no mark-up on the fee.

##### 02 900 - Site Restoration and Rehabilitation

**Topsoil Placement and Grading**  
A three (3") inch cover of topsoil or appropriate soil amendment shall be spread uniformly over the soil (8 yards per 1000 sq. ft.) and filled into the top six (6") inches of soil. Topsoil shall be a natural, fertile, friable soil, typical of productive soil in the vicinity, obtained from naturally well drained areas. Retain all areas indicated on plans and on areas damaged by construction, to depth of 4", removing stumps, all foreign objects and stones larger than one inch diameter. Place topsoil on all areas and incorporate by reroiling into subsoil.

**Seeding -** Seed only when weather conditions are suitable. All newly seeded turf areas shall be free of broadleaf weeds. Sow seed with mechanical spreaders at the specified rate on a calm day. Sow one half the seed in one direction and the other half at right angles. Seed shall be raked lightly into the soil to a depth of 1/4 inch and rolled with a roller weighing not more than 100 lbs. per foot of tread. Keep the surface moist by a fine spray until the grass shows uniform germination over the entire area. Wherever poor germination occurs in areas larger than three (3) square feet, reseed, roll and water as necessary to obtain proper germination.

**03 000 - Concrete Materials and Methods**  
All concrete work shall be designed on the basis of "Strength Design" in accordance with ACI 318-10 "Residential Code Requirements for Structural Concrete." Concrete work shall be proportioned in accordance with ACI 301 "Specifications for Structural Concrete" and ACI 211.1 "Recommended Practice for Selecting Proportions for Normal Weight Concrete."

**Countertop Installation -** Ensure cabinets are level and secure. Use minimum 1/2" exterior grade plywood reinforced across and between. Space between plywood joints shall be 1/8" on center. Do not joint backer-board with plywood joints. Sheet ends and edges must be supported by fasteners between 3/8" and 2" from joints. Apply a dry set mortar or modified thinset to sub-floor per manufacturer's instructions. Cylinders shall be taken from every batch truck and tested to plywood per manufacturer's recommendations. Fasten backer-board sheets with proper nails or screws every 8" over the entire surface. Keep the fasteners between 3/8" and 2" from sheet corners. Provide expansion joints where required.

**Wall Installation -** Ensure framing is structurally sound. Nominal 2" x 4" wood or minimum 20 gauge metal studs must be straight properly aligned and spaced a maximum of 16" on center. In tub and shower enclosures, ensure that the framing is adequately reinforced at 6" intervals. Sheathing may be installed vertically or horizontally. Score and snap sheets to required sizes and make necessary cut-outs. All joint ends and edges must be supported by a structural framing member or added blocking. In wet areas, install a moisture barrier (such as 15 lb. Felt) between the studs and backer-board. Install backer-board sheets with proper nails or screws every 8" over the entire surface. Keep the fasteners between 3/8" and 3/4" from sheet corners. Provide expansion joints where required.

**03 100 - Concrete Forming and Accessories**  
Provide all labor, materials and equipment necessary for the completion of the plan and reinforced concrete called for on the plans. Concrete when deposited shall have a temperature ranging between a minimum of 50 degrees Fahrenheit and a maximum of 90 degrees Fahrenheit.

**Construction Forms -** Construct wood forms of sound material, and of the correct shape and dimensions, constructed lightly and of sufficient strength. Brace and tie the forms together. Make joints and seams mortar tight. Install leakage control materials in accordance with manufacturer's installation instructions.

**Chamfered Corners -** Unless otherwise provided, chamfered corners on all exposed corners. Provide 3/4 inch moldings in forms for all chamfering required.

**Embedded Items -** make provisions for sleeves, anchors, inserts, water-stops and other features.

**Form Ties -** Use form ties of sufficient strength and in sufficient quantities to prevent spreading of the forms. Place ties at least 1 inch away from the finished surface of the concrete. Do not use ties consisting of twisted wire mesh. Leave form ties in place when they are stripped. Space all form ties equidistant and symmetrical and line up both vertically and horizontally.

**Cleanouts and Access Panels -** Provide removable cleanout sections or access panels at the bottom of all forms to permit inspection and effective cleaning of loose dirt, debris and water material. Clean all forms and surfaces to be used for concrete placement. Remove all debris and thoroughly blow out with compressed air just before concrete is placed.

**Concrete Accessories -** Provide 1/2" thick by 4" wide bituminous caulking around perimeter of concrete slabs where slabs meet concrete slabs, crawlspace or basement stem-wall CMU or poured foundations.

**03 200 - Concrete Reinforcing**  
Reinforcing steel (rebar) shall be minimum ASTM A615, grade 60, #18 reinforcing steels shall be as follows: #5 bars 26' maximum, #7 bars 35' maximum. All rebar (reinforcing steel) shall be located 3" clear from bottom and side of footing and 1" clear from top. Locate vertical steel (reinforcing steel) per drawings. All reinforcement steels shall be in accordance with ACI 318 for "Strength Design." All reinforcement steel shall be adequately placed, firmly tied in place with bar supports and spacers in accordance with ACI 301 and ACI 318.

**Welded Wire Fabric Reinforcing**  
Welded wire fabric shall be minimum 10 and conform to ASTM A105 and be located in the center of the depth. Install at slab on grade conditions.

#### 03 300 - Cast-In-Place Concrete

**Footings -** Construct all footings on walls, piers, or columns above unless otherwise noted. All footing and wall construction shall be in accordance with the minimum soil bearing allowable of 2000 psf, tested for 95 percent compaction, or 3/4" stone compacted in 12" lifts to 95 percent density if fill is required. Footings shall be constructed with a minimum 42" below frost line construction of 3000 psi concrete. Use 3 - #5 rebar (reinforcing steel) continuous through footers unless otherwise noted. Provide #5 rebar (reinforcing steel) continuous through each exterior intersection of footings, beams and walls. Each side should overlap 2'-0", with a 90 degree bend. Footings shall bear on undisturbed soil and kept free from ground water. Underneath load-bearing walls and interior or exterior column footings, thickened slabs with a 1' radius to 12" thick.

**Slab Foundations -** Concrete floor slabs (other than garage or exterior grade) shall be constructed with 3000 psi concrete. Reinforce each exterior slab shall be constructed of 3500 psi concrete, 4" thick reinforced with 10 #4's x 6" x welded-wire mesh continuous and rebar (reinforcing steel) #5 rebar. Floor slabs over well-compacted granular fill compacted in 12 inch lifts to 95 percent density per AASHTO T-180 Proctor, and a 15 ml vapor barrier U.N.O.. Construction or control joints shall be provided in slabs on grade so that the maximum area between joints shall be 400 sq. ft. Reinforce each slab with 10 #4's x 6" x welded-wire mesh continuous and rebar (reinforcing steel) #5 rebar. Provide smooth finish texture for all interior slabs unless otherwise finished. Provide broom finish texture for all exterior slabs unless otherwise finished. Provide 1/8" of drop in elevation for every 1'-0" in distance. At garage slab, provide positive drainage and taper lip at garage/overhead door. Exterior slabs and garage slabs shall be air-entrained between 5% and 7% total air content.

**Poured Concrete Basement Walls -** Poured walls shall be constructed of 3000 psi concrete with rebar as shown on drawings. If rebar is shown then at a minimum, provide #5 rebar (reinforcing steel) at 12" x 12" on center (OC) placed in a vertical grid. Patch all voids and depressions exceeding 3/8 inch in any direction. Provide aggregate drainage system around the exterior perimeter and install drainage as specified by manufacturers recommendations.

**Concrete Finishing -** Repair of surface defects shall begin immediately after removal of form or pouring of slab foundation. Provide smooth finish texture for all interior slab areas and garage surfaces. Provide broom finish texture for all exterior slabs unless otherwise finished. Provide 1/8" of drop in elevation for every 1'-0" in distance. At garage slab, provide positive drainage and taper lip at garage/overhead door. Patch all voids and depressions exceeding 3/8 inch in any direction.

**Curing -** After placement, concrete shall be protected to maintain proper moisture and temperature. Protection shall ensure that excessive water evaporation does not impair required strength or serviceability of the element.

**Cold Weather -** During anticipated ambient temperature conditions of 35 degrees Fahrenheit or below, concrete shall be maintained above a frozen state until a concrete compressive strength of 500psi has been reached. Where reinforced concrete is dry or protected from moisture in service, or for placement in concrete, brick veneer shall be shown in the construction documents. Wall ties shall be hot-dipped galvanized #9 gauge wire with a hook on the extended leg to engage or enclose a #9 rebar. All steel reinforcement mesh shall be installed every 6" on center spaced approximately 32 inches on center in vertical joints of first course over all counter flashing and through wall flashing on all exterior walls.

**04 000 - Precast Concrete**  
Provide all labor, materials and equipment to provide concrete structures as called for on the plans. Erect pre-cast concrete units and accurately install in place with hoisting equipment not more than adequate for the load. All completion, units shall be plumb, level and square, true to line, with angles and edges parallel with building lines.

**04 200 - Cast Concrete Masonry**  
Concrete Unit Masonry shall be in accordance with ASTM C90 or C145, 1500 psi compressive strength, grade N, Type 1, hollow core masonry blocks with a minimum net compressive strength of 1800 psi. Use Grade N, Type 1, specially shaped load-bearing concrete units as specified. Standard width of mortar joints for both horizontal and vertical joints shall be 3/8 inch. Joints shall have a full mortar coverage. Lay out and install mortar and leveling bed mortar between blocks at corners, window and door jambs. Reinforcing mesh shall be installed in the three courses above all openings and shall extend 3 feet 9 inches. Nails shall be at least 1 1/2" from ends.

**04 300 - Cementitious Backer-board and Underlayment**  
Install cementitious backer-board under ceramic tile, marble and stone finishes. Use straight edge to guide to score sheet's face with carbide tipped scoring knife and snap upward along the score line. Large cutouts use a circular saw with carbide tipped blade.

**Floor Installation -** Install over interior wood or concrete sub-floors. Ensure sub-floor is structurally sound. Ensure the sub-floor is free of damage. Replace any loose, warped or damaged boards. Make certain sub-floor is clean and flat. Exterior grade plywood or hardwood sub-floor should be at least 1 1/4" thick (5/8" minimum) in order to provide for a structurally sound, movement free foundation. In addition, the space between the joints shall be filled with a minimum allowable contraction deflection of your sub-floor may not exceed 1/320 of the span. Stagger joints. Do not align with plywood joints. Never allow floor joists to be exposed to weather. Apply a dry set mortar or modified thinset to sub-floor per manufacturer's instructions. Cylinders shall be taken from every batch truck and tested to plywood per manufacturer's recommendations. Fasten backer-board sheets with proper nails or screws every 8" over the entire surface. Keep the fasteners between 3/8" and 2" from sheet corners. Provide expansion joints where required.

**04 400 - Stone Masonry**  
Install exterior stone veneer per manufacturer's recommendations. Provide mock-up sample on site for review showing variation of stone, color, and mortar pattern and color. See construction documents for location and detailing of stone veneer. Provide flashing where indicated. Do not use frozen materials or materials mixed or coated with ice or frost. Set fasteners between 3/8" and 2" from sheet corners. Provide expansion joints where required.

**Mortar -** Portland Cement - ASTM C 150, Type 1 or 1, except Type III may be used for cold weather construction upon approval by architect. Provide samples of color for approval. Provide latex additive per manufacturer's written instructions.

**Parlram Beams and Posts** shall have a minimum bending design values (Fb) of 2,800 psi and a modulus of elasticity of 1,900,000 psi

**06 200 - Finish Carpentry**  
All architectural trim and woodwork shall be No. 1 grade material suitable for appropriate finishes. Wood that will be stained shall be clear of knots with concealed joints.

**06 300 - Millwork**  
Moisture content for interior woodwork shall be 8-10 percent to reduce excess shrinking. Provide and install interior wood trim as shown in construction documents.

**Architectural Woodwork -** Provide and install custom woodwork as described on construction documents. Pre-fabricated woodwork should be specified below.

**Wood Stairs and Railings -** Heights of risers and treads, lengths of risers and overall width of stairs shall comply with applicable building codes. Headroom shall be a minimum of 6'-8" measured from the top edge of the tread to a line parallel to the stair run. Stair treads shall be constructed of 5/4" thick lumber, risers shall be constructed of 3/4" finish grade lumber, structural stair stringers shall be constructed of 2"x12". Glue and nail stair assembly together. Provide and install detailing as shown in construction documents. Provide shop drawings for all stairs.

#### Division 07 000 - Thermal and Moisture Protection

**07 100 - Damp proofing and Waterproofing**  
All joints and penetrations in walls, floors, and roofs shall be made watertight using approved methods and materials. Waterproofing and damp proofing shall be per drawings.

**Slab Foundations -** Install a 15mil polyethylene vapor barrier in all slabs. Caulk around perimeter valves, sinks and faucets to seal them from water penetration. Glazed ceramic tile surfaces only require grout joints to be sealed which will provide an enhanced water and mildew resistant surface. Caulk around perimeter valves, sinks and faucets to seal them from water penetration. Glazed ceramic tile surfaces only require grout joints to be sealed which will provide an enhanced water and mildew resistant surface.

**04 500 - Masonry Fireplaces**  
Apply a silicoform fireproofing material to all joints per manufacturer's recommendations a minimum of 14 days after grout has been installed.

**Non-shrink Grout -** Lightly roughen concrete surface for maximum bonding per manufacturer's recommendations. Cover concrete areas with protective waterproof covering until ready to place grout. Align and level components to be grouted and maintain in final position until grout is completely cured. Grout shall be placed in one batch and other spaces to be grouted. The tops of such forms shall be one inch above the surfaces to be grouted. Place grout in accordance with the manufacturer's recommendations. Grout shall be placed in one batch and other spaces to be grouted. The tops of such forms shall be one inch above the surfaces to be grouted. Place grout in accordance with the manufacturer's recommendations.

**05 000 - Metals**  
Contractor shall review construction documents and provide labor and materials pertaining to metal work as required in said documents and as specified herein, while complying with all applicable building codes.

#### Division 04 000 - Masonry

##### 04 000 - Basic Masonry Materials and Methods

**Masonry Mortar -** Mortar shall be Type "M" or "S" in accordance with ASTM C270, 2500 psi. Grout shall be in accordance with ASTM C270. Type M, 2500 psi concrete using pea gravel for coarse aggregate with a maximum aggregate size of 3/8" and an 8" minimum to 11" maximum slump. Mortar joints shall be 3/8" thick, finished to produce a concave, flush, beaded, raked form. Mortar or grout not used within 2 1/2 hours after mixing shall not be used in masonry work. In hot weather add water as needed to supplement evaporation losses. In cold weather, when air is from ground water, use admixtures to reduce freezing. Follow heating water or aggregate to between 70 degrees and 160 degrees Fahrenheit maximum. When air temperature is below 32 degrees Fahrenheit, use admixtures to reduce freezing. Follow heating water or aggregate to between 70 degrees and 160 degrees Fahrenheit maximum. Mortar colors to be selected by the Architect.

**Masonry Anchorage and Reinforcing**  
**Brick Ties -** Install galvanized steel wire type brick ties. The brick veneer must be securely attached to the existing construction. Provide one tie for each 2 1/2" of wall area. The maximum spacing of ties, either horizontally or vertically, should not exceed 24 inches. Tie spacing applies above and below grade.

**Tie Fasteners - Wood Frame -** Install corrosion resistant nails to attach the corrugated metal ties to wood frame construction. The nails should be at least 1 1/4" into the wood studs.

**Metal -** Corrosion resistant, self tapping metal screws should be used to attach metal wire ties to metal construction. Screws should penetrate at least 1/2 inch into the metal structure.

**Concrete or Masonry -** Install ties with lag bolts and expansion shield in metal studs. The fasteners and anchors should be corrosion resistant. When installing a continuous steel angle it should conform to ASTM A36 and be treated to resist corrosion. Steel angles for lintels should be a minimum 1/4" thick with at least 3 leg angles.

**Masonry Accessories**  
Fastening Flashing materials may be bituminous membranes, sheet metals or a combination of these. Continuous flashing shall be installed at the bottom of the air space. Flashing must be at or above grade grade flashing should be installed at the heads and sills of all openings and where the air space is interrupted. Flashing should extend through the face of the brick veneer to form a drip edge. Where the flashing is not continuous, such as at heads and sills, the ends should be turned up.

**Wedge Holes -** Masonry wedge holes, each having an area of at least 70 mm (2 3/4") in diameter, shall be provided in masonry cavity wall construction. Wedge holes should be located in the head joints immediately above the flashing, and spaced at 16" on center.

**04 210 - Brick Veneer Masonry**  
Brick shall be placed in a running bond with joints finished to produce a concave form unless noted otherwise. All joints shall be uniform and 3/8 inch thick unless otherwise noted. Detailing, such as soldier courses, flashing, and mortar joints, shall be as shown in the construction documents. Wall ties shall be hot-dipped galvanized #9 gauge wire with a hook on the extended leg to engage or enclose a #9 rebar. All steel reinforcement mesh shall be installed every 6" on center spaced approximately 32 inches on center in vertical joints of first course over all counter flashing and through wall flashing on all exterior walls.

**04 220 - Cast Concrete Masonry**  
Concrete Unit Masonry shall be in accordance with ASTM C90 or C145, 1500 psi compressive strength, grade N, Type 1, hollow core masonry blocks with a minimum net compressive strength of 1800 psi. Use Grade N, Type 1, specially shaped load-bearing concrete units as specified. Standard width of mortar joints for both horizontal and vertical joints shall be 3/8 inch. Joints shall have a full mortar coverage. Lay out and install mortar and leveling bed mortar between blocks at corners, window and door jambs. Reinforcing mesh shall be installed in the three courses above all openings and shall extend 3 feet 9 inches. Nails shall be at least 1 1/2" from ends.

**04 300 - Cementitious Backer-board and Underlayment**  
Install cementitious backer-board under ceramic tile, marble and stone finishes. Use straight edge to guide to score sheet's face with carbide tipped scoring knife and snap upward along the score line. Large cutouts use a circular saw with carbide tipped blade.

**Floor Installation -** Install over interior wood or concrete sub-floors. Ensure sub-floor is structurally sound. Ensure the sub-floor is free of damage. Replace any loose, warped or damaged boards. Make certain sub-floor is clean and flat. Exterior grade plywood or hardwood sub-floor should be at least 1 1/4" thick (5/8" minimum) in order to provide for a structurally sound, movement free foundation. In addition, the space between the joints shall be filled with a maximum allowable contraction deflection of your sub-floor may not exceed 1/320 of the span. Stagger joints. Do not align with plywood joints. Never allow floor joists to be exposed to weather. Apply a dry set mortar or modified thinset to sub-floor per manufacturer's instructions. Cylinders shall be taken from every batch truck and tested to plywood per manufacturer's recommendations. Fasten backer-board sheets with proper nails or screws every 8" over the entire surface. Keep the fasteners between 3/8" and 2" from sheet corners. Provide expansion joints where required.

**04 400 - Stone Masonry**  
Install exterior stone veneer per manufacturer's recommendations. Provide mock-up sample on site for review showing variation of stone, color, and mortar pattern and color. See construction documents for location and detailing of stone veneer. Provide flashing where indicated. Do not use frozen materials or materials mixed or coated with ice or frost. Set fasteners between 3/8" and 2" from sheet corners. Provide expansion joints where required.

**04 500 - Masonry Fireplaces**  
Apply a silicoform fireproofing material to all joints per manufacturer's recommendations a minimum of 14 days after grout has been installed.

**Non-shrink Grout -** Lightly roughen concrete surface for maximum bonding per manufacturer's recommendations. Cover concrete areas with protective waterproof covering until ready to place grout. Align and level components to be grouted and maintain in final position until grout is completely cured. Grout shall be placed in one batch and other spaces to be grouted. The tops of such forms shall be one inch above the surfaces to be grouted. Place grout in accordance with the manufacturer's recommendations.

**05 000 - Metals**  
Contractor shall review construction documents and provide labor and materials pertaining to metal work as required in said documents and as specified herein, while complying with all applicable building codes.

#### 05 100 - Structural Metal Framing

Fabrication and erection of structural steel shall conform to the American Institute of Steel Construction, "Manual of Steel Construction, Load and Resistance Factor Design".

Steel deck units and accessories shall be fabricated from steel sheet conforming to astm a663 grade 40, with minimum yield point of 40ksi.

All steel structural steel and miscellaneous metal work including lintels, flash plates, and all support members, complete with required bracing, wash, washers, nuts, shims, anchor bolts, base plates, bearing plates. All steel details and connections shall be in accordance with the requirements of the latest AISC specifications and latest revisions. Provide all required anchor bolts, bearing plates and metal ties required by standard practice and as noted below.

All structural steel for beams shall be in accordance with ASTM A992-50. All structural steel for steel columns shall comply with ASTM specification A588 Grade B or A-500. Structural steel columns shall be per drawings but at a minimum 3" minimum inside diameter, unless noted otherwise.

All steel plates shall be in conformance with ASTM A36 Tubular Steel shall be in conformance with ASTM A500 Grade B Steel pipe shall be in conformance with ASTM A-53, Grade B. Steel angles and channels shall be in conformance with ASTM A36. Cast iron shall be in conformance with ASTM A-48, Class D, unless otherwise noted.

Welding Electrodes shall be as permitted by AWS Code, D1.1. All bolts shall be in conformance with ASTM A325 and A490. All anchor rods shall be in conformance with ASTM 1554 Grade 36.

**05 500 - Metal Fabrications**  
Install metal detailing as specified on construction documents. Install metal gates, grilles, iron work, etc. to meet all applicable building codes, with appropriate detailing and patterns as shown in construction documents. Metal shall be shop welded together, unless otherwise specified, and with two coats of an anti-rust primer. After installation, apply an additional coat and anti-rust primer in preparation for finish coats.

**05 600 - Wood, Plastics, and Composites**  
**06 100 - Rough Carpentry**  
Lumber shall be of live, sound stock and properly dried. Pressure treated lumber shall be used where any lumber shall come into contact with concrete, masonry block or soil and when using as support members for decks, porches or balconies. Lumber for use at exterior shall have a maximum 12 percent moisture content. Provide adequate drainage and shoring during the construction process. Studs and joists out to install plumbing and/or wiring shall be reinforced by adding metal or wood structural reinforcing to strengthen member back to original capacity and maintain structural integrity. Holes bored shall not be larger than 1/3 the depth and not closer than 2" to the top or bottom of the joist.

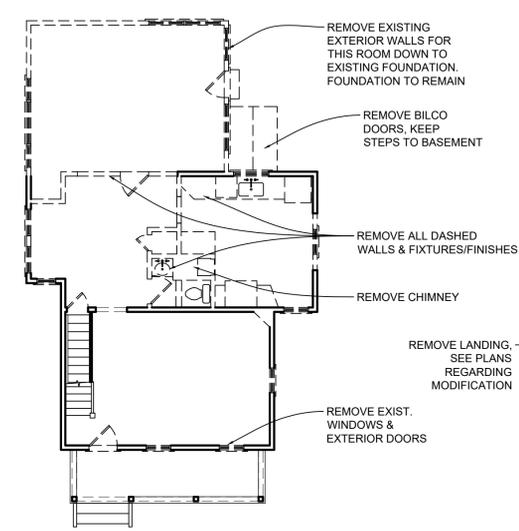
**06 200 - Manufactured Gutters and Downspouts**  
Install gutters and downspouts per plans. Attach every 2'-6" on center (OC) with straps and/or fasteners. Aluminum should be 25 gauge aluminum. Copper shall be per plans.

**06 300 - Joint Sealants**  
Use a 50 year warranty silicon based caulk at high expansion/compression joints such as around windows, the ceramic and around enamel and pre-fabricated tubs and showers. For exterior windows, door frames, interior trim, woodwork and other paintable surfaces, use a clear or colored latex based caulk. Color: soft match wood stain or paint.

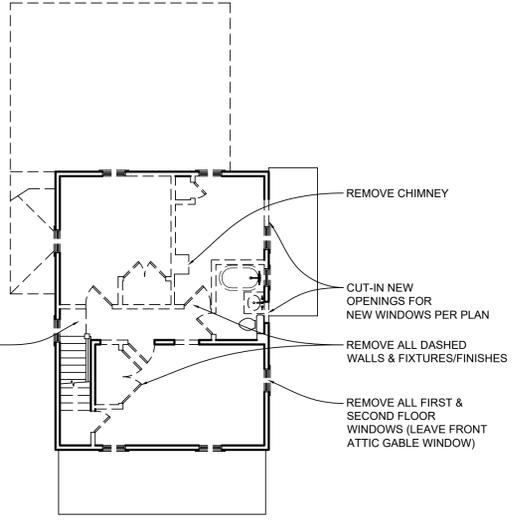
**06 400 - Flashing and Sheet Metal**  
Install appropriate flashing at all joints of chimneys, dormers, walls, vent pipes and other connection points to prevent the infiltration of water. Flashing shall be assembled of 16 ounce hard copper sheet metal. Valley shall be wrapped with 20" wide copper flashing and extend 10" in each direction from center-line of valley. Use 5/4" wide x 4" high x 10" long copper diameter shall be a nominal 1/4" with the length 1 1/2" to penetrate a minimum of roof and roof surfaces. Flashing should extend through the face of the brick veneer to form a drip edge. Where the flashing is not continuous, such as at heads and sills, the ends should be turned up.

**06 500 - Windows**  
Provide and install necessary windows and appropriate hardware to meet manufacturer's instructions. Windows shall be flashed per housewrap and 3M recommendations.

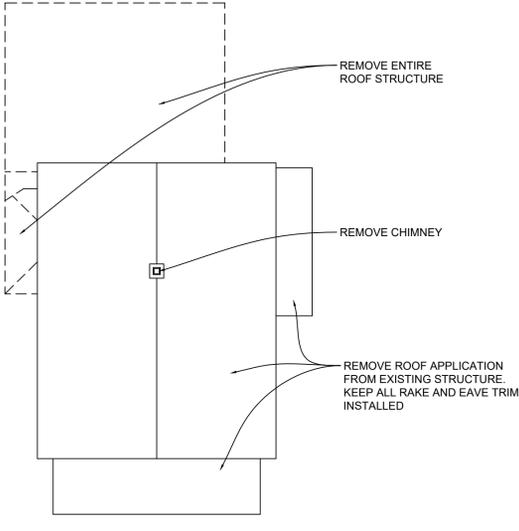
**06 600 - Doors**  
Exterior Doors - All exterior doors shall be per plans with copper pan flashings and weather-tight thresholds. Install color appropriate weather-stripping around all doors.



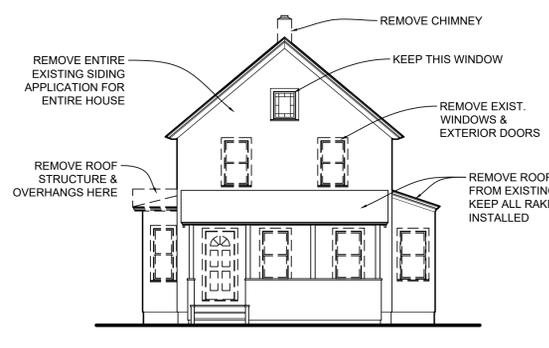
**1** FIRST FLOOR DEMOLITION PLAN  
 1/8" = 1'-0"



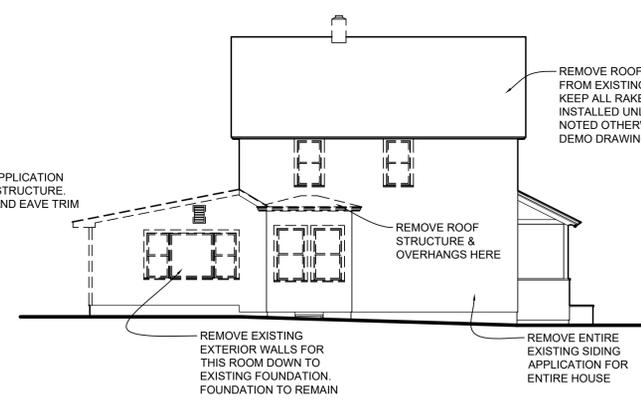
**2** SECOND FLOOR DEMOLITION PLAN  
 1/8" = 1'-0"



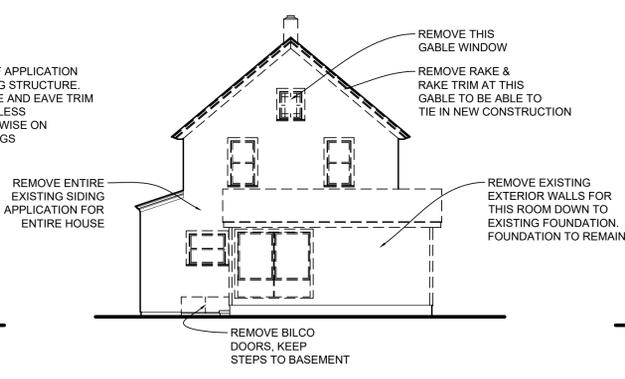
**3** ROOF DEMOLITION PLAN  
 1/8" = 1'-0"



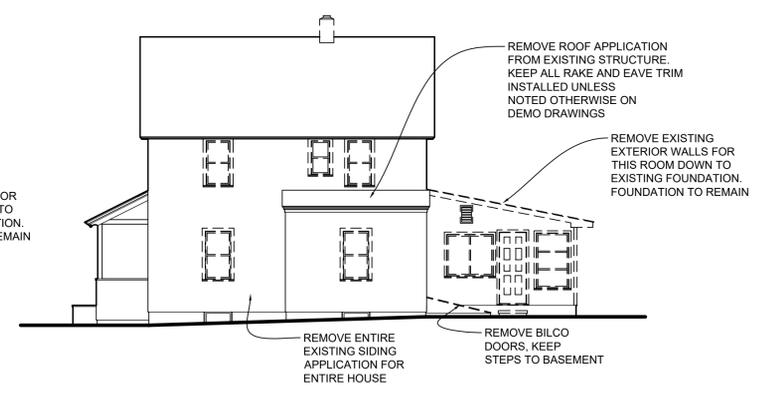
**4** FRONT ELEVATION DEMOLITION  
 1/8" = 1'-0"



**5** LEFT SIDE ELEVATION DEMOLITION  
 1/8" = 1'-0"



**6** REAR ELEVATION DEMOLITION  
 1/8" = 1'-0"



**7** RIGHT SIDE ELEVATION DEMOLITION  
 1/8" = 1'-0"

**DEMOLITION GENERAL NOTES:**

- ALL DASHED ITEMS ARE TO BE REMOVED TYPICAL. CONFIRM WITH OWNER PRIOR TO DEMOLITION ANY ITEMS THAT ARE TO BE SALVAGED FOR RE-USE.
- HATCHED WALLS ARE EXISTING WALL STRUCTURE TO BE REMOVED TO THE EXTENT REQUIRED FOR THE NEW DESIGN. COORDINATE NEW OPENINGS IN THE EXISTING WALL, TYP.
- ADEQUATELY BRACE AND PROTECT ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- DEMOLITION DIMENSIONS ARE SHOWN FOR REFERENCE ONLY. VERIFY FINAL OPENING REQUIREMENTS WITH FINAL WINDOW AND DOOR SELECTIONS, TYP. ALL DIMENSIONS SHOULD BE FIELD VERIFIED PRIOR TO DEMOLITION.
- DEMOLITION DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLISHING ALL THAT IS REQUIRED TO PERFORM THE PROPOSED SCOPE OF WORK

**NOTE:** ALL EXISTING STRUCTURE IS BASED UPON FIELD OBSERVATIONS. FIELD VERIFY AND NOTIFY ARCHITECT DURING DEMOLITION IF FIELD CONDITIONS VARY FROM ASSUMPTIONS.

REVISIONS / ADDENDA

ISSUED FOR PERMIT  
 DATE: 06.23.2025

PROJECT NAME  
**Addition & Renovation**

OWNER  
 Frank Festini  
 279 Spruce Street  
 Southport, CT 06890

DRAWING TITLE  
**DEMOLITION PLANS & ELEVATIONS**

DRAWING NUMBER  
**A-1**



REVISIONS / ADDENDA

ISSUED FOR PERMIT

DATE: 06.23.2025

PROJECT NAME

**Addition & Renovation**

OWNER  
 Frank Festini  
 279 Spruce Street  
 Southport, CT 06890

**FOUNDATION & FIRST FLOOR CONSTRUCTION PLANS**

DRAWING NUMBER  
**A-2**

**CONSTRUCTION PLAN NOTES**

- FOUNDATION WALL:** REINFORCED CAST-IN-PLACE STEM WALL. SEE PLANS, SECTIONS, AND DETAILS FOR SIZES AND REINFORCING. PROVIDE 6" DIAMETER PERFORATED FOOTING DRAIN WITH 12" MIN. 1/2" CRUSHED STONE SURROUNDED BY FILTER FABRIC. SET PIPE WITH PERFORATIONS FACING DOWN. PROVIDE SEPARATE 6" SOLID HDPE PERIMETER ROOF GUTTER AND DOWNSPOUT STORM DRAINAGE PIPE ABOVE FOOTING DRAIN AS NEEDED. COORDINATE WITH DOWNSPOUT AND OUTLET LOCATIONS. DO NOT CONNECT DOWNSPOUTS TO FOOTING DRAIN. FOUNDATION FOOTINGS TO EXTEND MIN. 42" BELOW GRADE.
- FOOTING:** 12" DEEP CAST-IN-PLACE REINFORCED CONCRETE SPREAD FOOTING. SEE PLANS, SECTIONS, AND DETAILS FOR SIZES AND REINFORCING.
- PATIO CONSTRUCTION:** 1" THICK DIMENSIONAL PENNSYLVANIA SELECT TRUE BLUE THERMAL BLUESTONE PORCH ON 4" AIR-ENTRAINED CONCRETE SLAB WITH W.W.F. OVER 4" DEPTH GRAVEL ON COMPACTED FILL. PROVIDE A 2" THICK EDGING.
- EXTERIOR STAIRS:** 2" THICK TRUE BLUE THERMAL BLUESTONE STEPS WITH 2" THIN STONE VENEER RISERS. REFER ALSO TO LANDSCAPE PLAN.
- PORCH CEILING:** STAINED MAHOGANY BEADBOARD IN BASKETWEAVE PATTERN.
- EXTERIOR COLUMNS:** PAINTED TRUE 6" SQUARE COLUMNS (4X4 P.T. POST WRAPPED IN TRIM).
- BASEMENT HATCH:** NEW BILCO DOOR ON EXISTING FOUNDATION. VERIFY SIZE REQUIRED WITH FIELD CONDITIONS PRIOR TO ORDERING.
- STONE VENEER:** 2" THIN STONE VENEER APPLIED TO FOUNDATION WALL WHERE EXPOSED.
- EXTERIOR WALL CONSTRUCTION:** CEDAR SIDING OR SHINGLES (SEE ELEVATIONS) OVER TYVEK HOMEWRAP ON 1/2" APA RATED EXPOSURE 1 PLYWOOD STRUCTURAL SHEATHING ON 2X6 WOOD STUDS AT 16" O.C. WITH 1/2" GYP. BD. INTERIOR SHEATHING. PROVIDE MIN. R-30 OC-SPF INSULATION WITHIN FRAMING. SEE BATHROOM WALL NOTE FOR INTERIOR SIDE OF BATHROOM WALLS.
- INTERIOR WALL CONSTRUCTION:** 1/2" GYPSUM BOARD ON 2X4 WOOD STUDS AT 16" O.C. UNLESS DIMENSIONED AS 2X6 OR OTHERWISE. PROVIDE SKIM COAT WHERE MATCHING EXISTING PLASTER WALLS IN ROOM. PROVIDE CEMENT BOARD WHERE BACKING TILE.
- BATHROOM / LAUNDRY WALL CONSTRUCTION:** 2X4 WOOD STUDS AT 16" O.C. UNLESS DIMENSIONED AS 2X6 WITH 1/2" PAINTED MOISTURE RESISTANT GYP. BD. ON WET SIDE OF WALL AND 1/2" PAINTED GYP. BD. ON OPPOSITE SIDE. PROVIDE 3" ROXUL SAFEN'SOUND INSULATION FOR ACOUSTIC SEPARATION. PROVIDE CEMENT BOARD WHERE BACKING TILE.
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- SHOWER WALLS:** FULL HEIGHT TILE OVER SCHLUTER KERDI WATERPROOFING MEMBRANE ON 1/2" CEMENT BACKER BOARD.
- SHOWER BASE:** SITE BUILT USING SCHLUTER KERDI SYSTEM. TILE FLOOR ON UNMODIFIED PORTLAND CEMENT THIN-SET MORTAR OVER KERDI BONDED WATERPROOF MEMBRANE ON SLOPED PORTLAND CEMENT MORTAR BED ON 1/2" HARDBACKER (OR EQUAL) BOARD BASE ON FLOOR. PROVIDE CURB WITH FULL MEMBRANE OVER CURB. PROVIDE KERDI DRAIN FLOOR DRAIN AND PLUMBING REQUIRED FOR SHOWER.
- GLASS ENCLOSURE:** 1/2" TEMPERED FRAMELESS STAIRPHIRE GLASS DOOR & ENCLOSURE. NICHE: TILED INTERIOR OR STONE SIDE WALLS WITH STONE SHELF. SEE INTERIOR ELEVATIONS.
- APPLIANCE WATER LINE:** PROVIDE TO REFRIGERATOR & FREEZER FOR ICE AND WATER MAKERS.
- WASHER / DRYER HOOK-UPS:** PROVIDE RECESSED HOOK-UP WITH BALL-TYPE MASTER VALVE FOR WASHER & DRYER. PROVIDE ELECTRICAL, GAS (IF REQUIRED), AND PLUMBING HOOK-UP AND INSTALL APPLIANCES. PROVIDE WATERPROOF SHOWER TYPE BASE WITH TILE FINISH AND HOSE TO WASTE OUTLET. PROVIDE SMOOTH METAL DUCT DRYER VENT TO EXTERIOR. PROVIDE BRAIDED STAINLESS STEEL SUPPLY LINES WITH AUTOMATIC SHUT-OFF VALVES.
- FROST FREE HOSE BIBB:** PROVIDE PLUMBING AND SHUT-OFF VALVES AS REQUIRED. COORDINATE FINAL LOCATIONS WITH OWNER.
- EXHAUST HOOD:** PROVIDE VENT TO EXTERIOR FOR RANGE HOOD. COORDINATE WITH FRAMING AND CABINETRY AS REQUIRED TO HIDE DUCT. PROVIDE REMOTELY LOCATED BLOWER FAN. DUCTWORK SHALL VENT THROUGH SIDE WALL. PROVIDE MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST AIR RATE FOR HOOD SYSTEMS CAPABLE OF EXHAUSTING GREATER THAN 400 CFM.
- CUSTOM CLOSET SYSTEM:** PROVIDE DRAWINGS FOR OWNER REVIEW.
- CLOSET ROD & SHELF:** SHELF OVER ROD TO BE PAINT GRADE PLYWOOD WITH HARDWOOD EDGE BAND.
- BUILT-IN CABINETRY:** SEE INTERIOR ELEVATIONS FOR DESIGN & FINISHES.
- STONE COUNTERTOP:** SEE ALLOWANCES.
- ATTIC STAIR:** PULL-DOWN FOLDING WOOD ATTIC STAIR.

**GENERAL FLOOR PLAN NOTES**

- SEE BUILDING SECTIONS, WALL SECTIONS, AND DETAILS FOR BUILDING THERMAL INSULATION AND VAPOR BARRIER REQUIREMENTS.
- INSULATE ALL WATER SUPPLY AND DRAINAGE PIPING IN WALLS AND CEILINGS WITH NEOPRENE TO PREVENT CONDENSATION AND FOR SOUNDPROOFING.
- ALL DOORS, WINDOWS, AND CASED OPENINGS SHALL HAVE CASINGS. CONFIRM FINAL CASING FINISH WITH ELEVATIONS.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED PER CODE.
- COORDINATE ALL FLOOR FRAMING MEMBERS AND LAYOUT WITH MANUFACTURERS STANDARD SPECS AND DETAILS. ALL LVL BEAMS SHALL BE ANCHORED AND ATTACHED AS PER MANUFACTURER RECOMMENDED METHODS.
- DOUBLE ALL FRAMING MEMBERS UNDER PARALLEL PARTITIONS, TYP.
- PROVIDE SOLID BLOCKING IN FLOOR FRAMING UNDER ALL APPLIANCES, BUILT INS, KITCHEN ISLAND, BATH FIXTURES AND ALL COUNTERTOP LOCATIONS.
- ALL FIXTURES AND FINISHES TO BE VERIFIED BY ARCHITECT AND OWNER.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE DONE ON A FULL "DESIGN BUILD" BASIS AND PROVIDED PER CODE AND AS INDICATED ON DRAWINGS.
- SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS INCLUDING WIND RESISTANCE REQUIREMENTS, HURRICANE CLIPS, TIES, STRAPS, HOLD DOWNS, ETC.
- INSTALL APPLIANCES AND PLUMBING FIXTURES AS INDICATED ON PLANS INCLUDING ASSOCIATED PLUMBING AND ELECTRICAL REQUIREMENTS. SEE ALLOWANCES FOR FURNISHING ITEMS.
- PROVIDE CUSTOM CABINETRY AND MILLWORK AS INDICATED IN PLAN. SEE ALLOWANCES FOR FURNISHING ITEMS.
- PROVIDE STONE COUNTERTOP WHERE COUNTERTOPS ARE INDICATED. SEE ALLOWANCES.

**STRUCTURAL NOTES**

- SEE SHEET S-1 FOR GENERAL STRUCTURAL NOTES.
- SEE SHEET S-1 FOR CONNECTION DETAILS. CONTRACTOR TO PROVIDE CONNECTIONS AS SHOWN U.N.O.
- SEE SHEET S-1 FOR POSTS AND FRAMING INFORMATION.
- ALL OPENINGS TO HAVE (2) 2x10 HEADERS IN 2x6 WALLS AND (2) 2x10 HEADERS IN 2x4 WALLS U.N.O. 2x6 EXTERIOR WALLS SHALL HAVE 1 1/2" RIGID INSULATION BETWEEN THE (2) 2x10 HEADERS.
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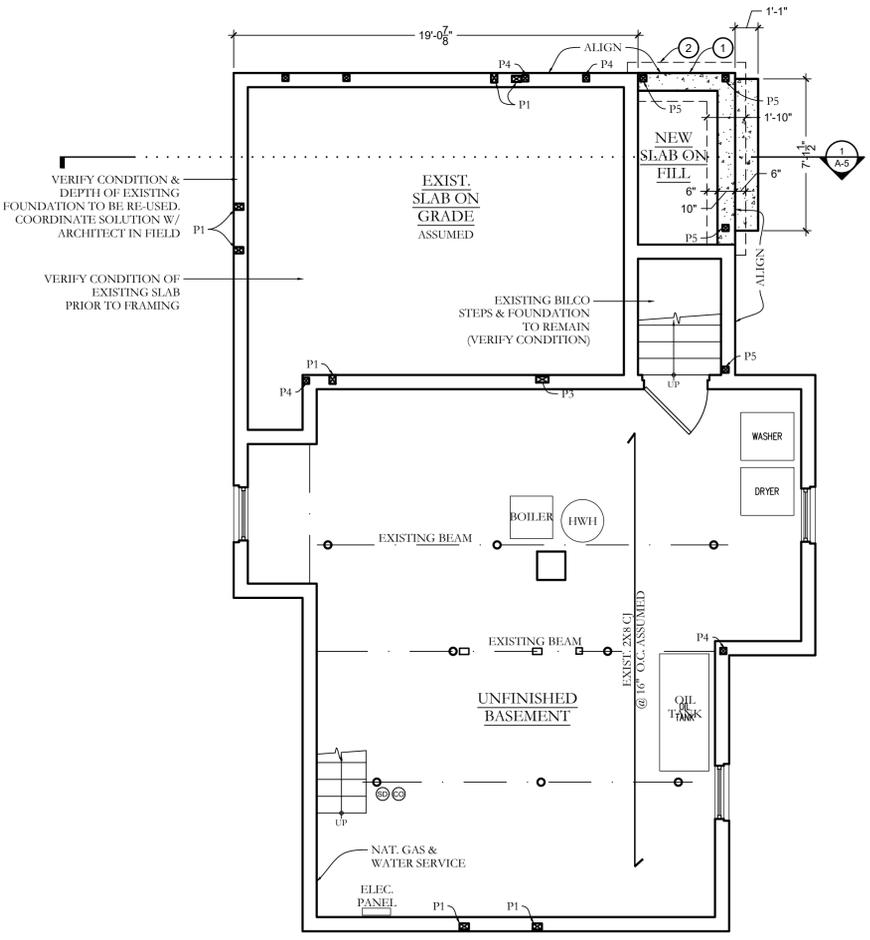
**POST SCHEDULE**

- P1 - ALL POSTS U.N.O. 3 1/2" X 5 1/4" PARALLEL STRAND LUMBER (PSL) POST
- P2 - NOT USED
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- P4 - 3 1/2" X 3 1/2" PARALLEL STRAND LUMBER POST
- P5 - 4X4 P.T. WOOD POST WITHIN STRUCTURAL COLUMN WRAP

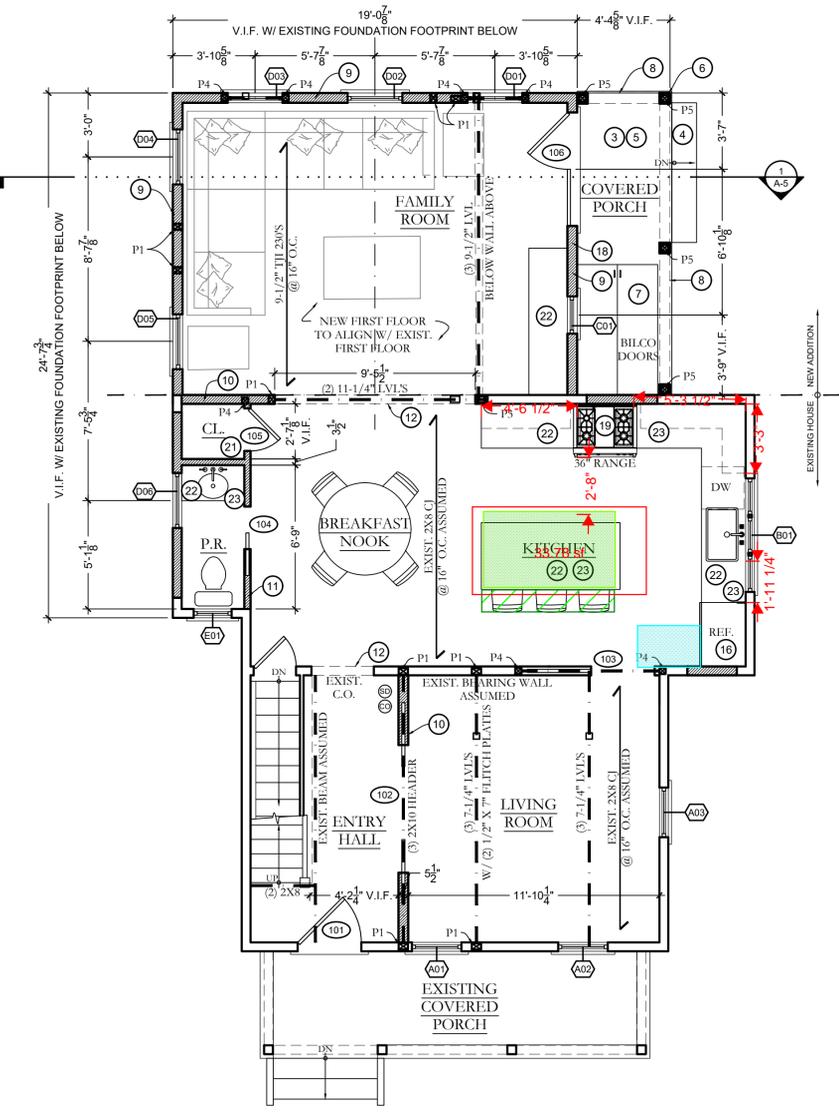
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**CONNECTOR SCHEDULE**

- C1 - ALL CONNECTORS SHALL BE SUBMITTED FOR REVIEW UNLESS SCHEDULED BELOW. ALL CONNECTORS SHALL BE CONNECTED PER SCHEDULE ON SHEET S-1.
- C2 - STEEL-TO-STEEL CONNECTIONS AND FLITCH BEAM HANGERS SHALL BE ENGINEERED AND CUSTOM FABRICATED BY CONTRACTOR'S STEEL FABRICATOR PER END BEARING LOADS PROVIDED BY ARCHITECT.



**1** BASEMENT & FOUNDATION CONSTRUCTION PLAN  
 1/4" = 1'-0"



**2** FIRST FLOOR CONSTRUCTION PLAN  
 1/4" = 1'-0"





REVISIONS / ADDENDA

ISSUED FOR PERMIT

DATE: 06.23.2025

PROJECT NAME

**Addition & Renovation**

OWNER  
 Frank Festini  
 279 Spruce Street  
 Southport, CT 06890

**SECOND FLOOR & ROOF CONSTRUCTION PLANS**

DRAWING NUMBER  
**A-3**

**CONSTRUCTION PLAN NOTES**

- FOUNDATION WALL:** REINFORCED CAST-IN-PLACE STEM WALL. SEE PLANS, SECTIONS, AND DETAILS FOR SIZES AND REINFORCING. PROVIDE 6" DIAMETER PERFORATED FOOTING DRAIN WITH 1/2" MIN. 1/2" CRUSHED STONE SURROUNDED BY FILTER FABRIC. SET PIPE WITH PERFORATIONS FACING DOWN. PROVIDE SEPARATE 6" SOLID HDPE PERIMETER ROOF GUTTER AND DOWNSPOUT STORM DRAINAGE PIPE ABOVE FOOTING DRAIN AS NEEDED. COORDINATE WITH DOWNSPOUT AND OUTLET LOCATIONS. DO NOT CONNECT DOWNSPOUTS TO FOOTING DRAIN. FOUNDATION FOOTINGS TO EXTEND MIN. 42" BELOW GRADE.
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- EXTERIOR STAIRS:** 2" THICK TRUE BLUE THERMAL BLUESTONE STEPS WITH 2" THIN STONE VENEER RISERS. REFER ALSO TO LANDSCAPE PLAN.
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**GENERAL FLOOR PLAN NOTES**

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**STRUCTURAL NOTES**

- SEE SHEET S-1 FOR GENERAL STRUCTURAL NOTES.
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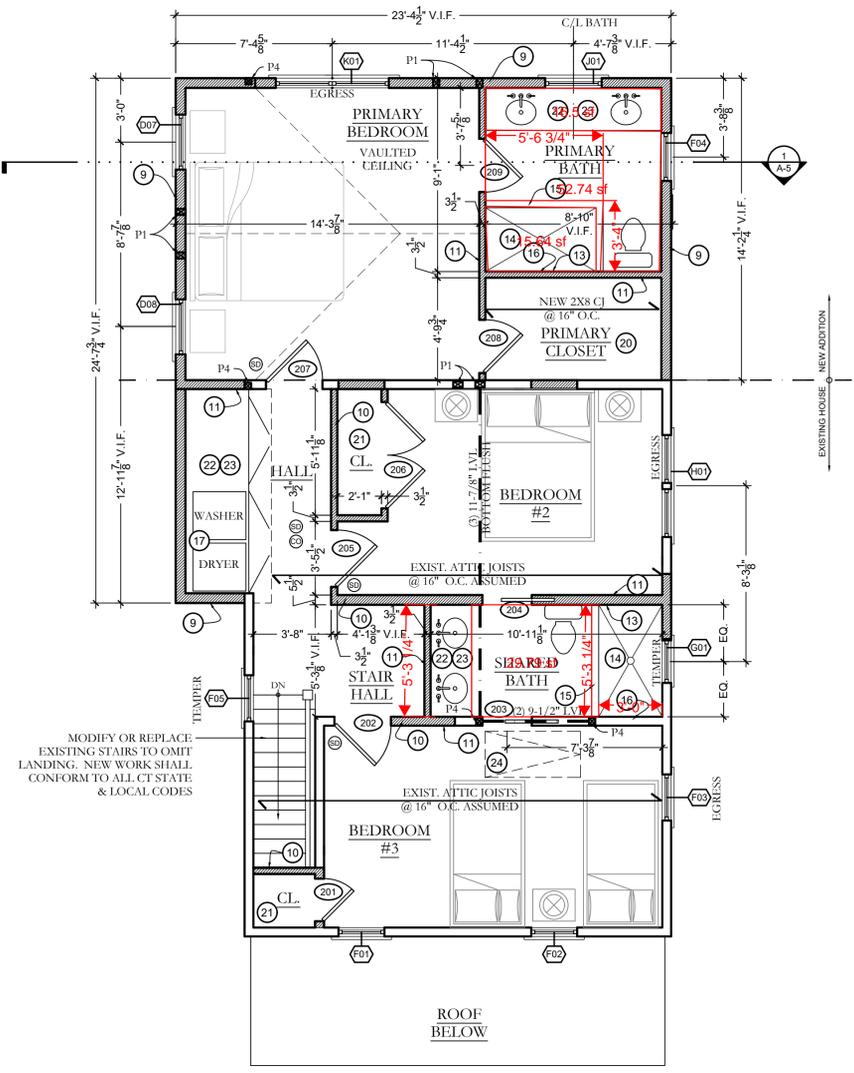
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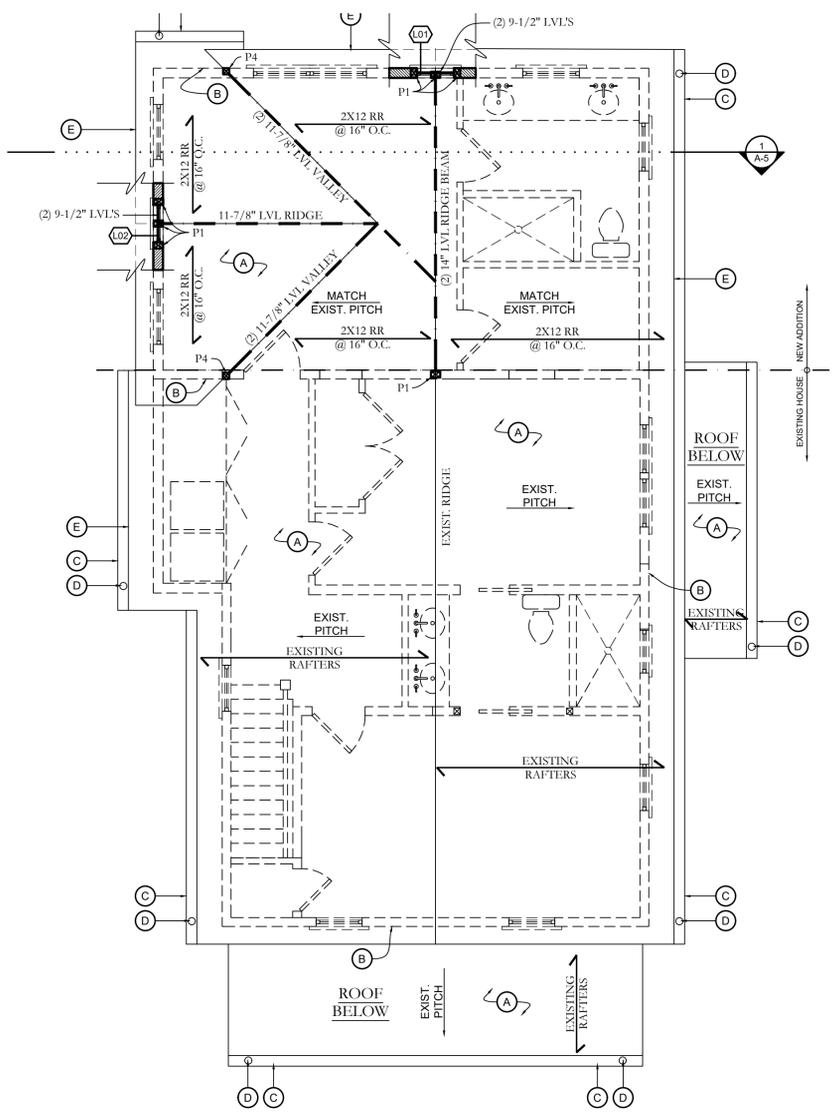
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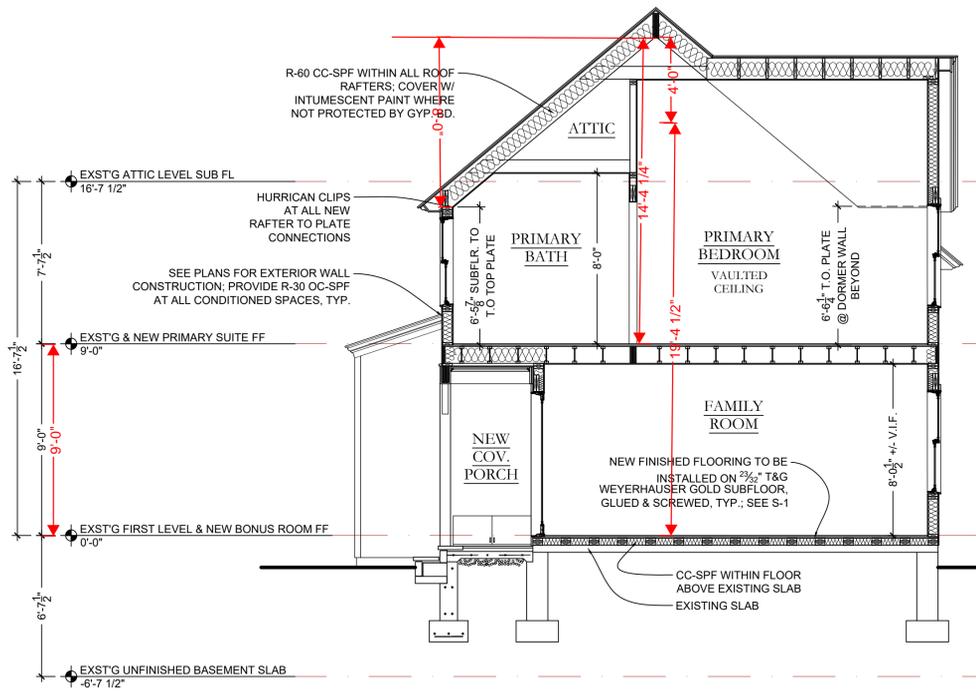
**1 SECOND FLOOR CONSTRUCTION PLAN**  
 1/8" = 1'-0"



**2 ROOF CONSTRUCTION PLAN**  
 1/8" = 1'-0"

MODIFY OR REPLACE EXISTING STAIRS TO OMIT LANDING. NEW WORK SHALL CONFORM TO ALL CT STATE & LOCAL CODES





1 BUILDING SECTION  
1/8" = 1'-0"

DOOR SCHEDULE

TAG #	DOOR LEAF SIZE W x H	MNFCTR	TYPE	THCK	HDWR	MATERIAL		FINISH		NOTES
						INT	EXT	INT	EXT	
101	3'-0" x 6'-8"	T.B.D.	E	1 1/2"	H1	D. FIR	D. FIR	STAIN	STAIN	
102	(2) 3'-0" x 6'-8"	TRUSTILE	D	1 1/2"	H3	MDF	MDF	PAINT	PAINT	1.0
103	3'-0" x 6'-8"	TRUSTILE	C	1 1/2"	H3	MDF	MDF	PAINT	PAINT	1.0
104	2'-0" x 6'-8"	TRUSTILE	C	1 1/2"	H4	MDF	MDF	PAINT	PAINT	1.0
105	2'-0" x 6'-8"	TRUSTILE	A	1 1/2"	H3	MDF	MDF	PAINT	PAINT	
106	5'-4" x 6'-8"	PROVIA	F	1 1/2"	H2	WOOD	WOOD	PAINT	PAINT	
201	2'-0" x 6'-8"	TRUSTILE	A	1 1/2"	H3	MDF	MDF	PAINT	PAINT	
202	2'-8" x 6'-8"	TRUSTILE	A	1 1/2"	H3	MDF	MDF	PAINT	PAINT	
203	2'-4" x 6'-8"	TRUSTILE	C	1 1/2"	H4	MDF	MDF	PAINT	PAINT	1.0
204	2'-4" x 6'-8"	TRUSTILE	C	1 1/2"	H4	MDF	MDF	PAINT	PAINT	1.0
205	2'-8" x 6'-8"	TRUSTILE	A	1 1/2"	H3	MDF	MDF	PAINT	PAINT	1.0
206	(2) 2'-6" x 6'-8"	TRUSTILE	B	1 1/2"	H3	MDF	MDF	PAINT	PAINT	1.0
207	2'-8" x 6'-8"	TRUSTILE	A	1 1/2"	H3	MDF	MDF	PAINT	PAINT	1.0
208	2'-6" x 6'-8"	TRUSTILE	A	1 1/2"	H3	MDF	MDF	PAINT	PAINT	1.0
209	2'-6" x 6'-8"	TRUSTILE	A	1 1/2"	H4	MDF	MDF	PAINT	PAINT	1.0

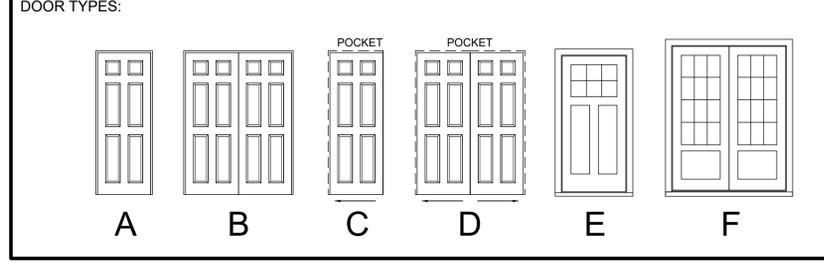
NOTES:

1.0 PROVIDE POCKET DOOR HARDWARE	H1 ENTRY DOOR LOCKSET W/ DEADBOLT
	H2 PATIO LOCKSET
	H3 PASSAGE LATCHSET
	H4 PRIVACY LOCKSET

HARDWARE:

DOOR SCHEDULE NOTES - APPLY TO ALL DOORS U.N.O.:

- WINDSOR DOORS TO MATCH WINDOWS. QUANTITIES AND SIZES LISTED ARE FOR PRICING ONLY. VERIFY FINAL QUANTITIES AND SIZES WITH PLANS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO ORDERING.
- PROVIDE TEMPERED UNITS WHERE REQUIRED BY CODE.
- PROVIDE DETAILED SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY ARCHITECT PRIOR TO ORDERING DOORS.
- SEE ELEVATIONS AND PLANS FOR DOOR DESIGNATIONS. DOORS ARE DENOTED IN PLAN UNLESS NOT VISIBLE IN PLAN IN WHICH CASE THEY ARE KEYED ON THE ELEVATION.
- EXTERIOR DOORS SHALL MEET ENERGY STAR GUIDELINES FOR NORTHERN ZONE.
- VERIFY ALL EXISTING DOOR SIZES.
- ALL EXTERIOR FRENCH DOORS SHALL BE FULLY OPERABLE WITH ONE ACTIVE AND ONE INACTIVE LEAF. U.N.O.
- EXTERIOR DOORS SHALL HAVE CPVC EXTERIOR CASINGS.
- EXTERIOR DOORS SHALL HAVE COPPER PAN FLASHINGS.
- EXTERIOR DOORS SHALL HAVE WEATHERSTRIPPING AND MAHOGANY SILLS



WINDOW SCHEDULE

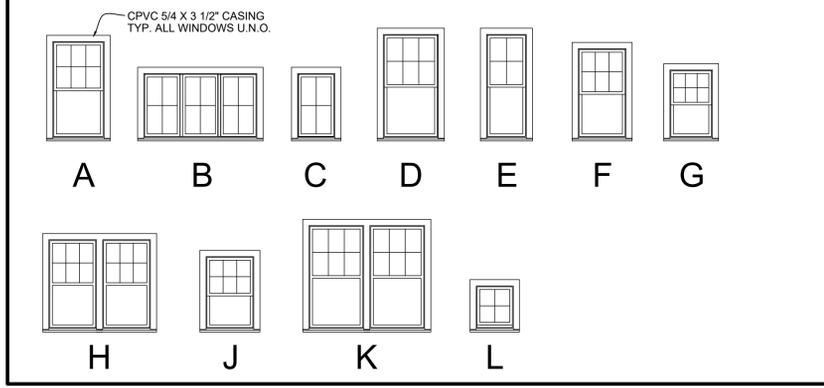
TAG #	UNIT SIZE W x H	MNFCTR	TYPE	STYLE	MATERIAL		FINISH		NOTES
					INT	EXT	INT	EXT	
A##	2'-4" x 4'-5"	PROVIA	A	DOUBLE-HUNG	WOOD	WOOD	PAINT	PAINT	2.0
B##	(3) 1'-9" x 3'-0"	PROVIA	B	CASEMENT	WOOD	WOOD	PAINT	PAINT	
C##	1'-9" x 3'-0"	PROVIA	C	CASEMENT	WOOD	WOOD	PAINT	PAINT	
D##	2'-7" x 4'-9"	PROVIA	D	DOUBLE-HUNG	WOOD	WOOD	PAINT	PAINT	3.0
E##	1'-9 1/2" x 4'-9"	PROVIA	E	DOUBLE-HUNG	WOOD	WOOD	PAINT	PAINT	2.0
F##	2'-3" x 4'-1"	PROVIA	F	DOUBLE-HUNG	WOOD	WOOD	PAINT	PAINT	2.0; 4.0
G##	2'-0" x 3'-2"	PROVIA	G	DOUBLE-HUNG	WOOD	WOOD	PAINT	PAINT	
H##	(2) 2'-3" x 4'-1"	PROVIA	H	CASEMENT	WOOD	WOOD	PAINT	PAINT	5.0
J##	2'-3" x 3'-4 1/2"	PROVIA	J	DOUBLE-HUNG	WOOD	WOOD	PAINT	PAINT	
K##	(2) 2'-7" x 4'-9"	PROVIA	K	CASEMENT	WOOD	WOOD	PAINT	PAINT	5.0
L##	1'-9" x 2'-0"	PROVIA	L	CASEMENT	WOOD	WOOD	PAINT	PAINT	

NOTES:

1.0 WINDOWS TO BE FACTORY MULLED TO ALLOW FOR 3-1/2" EXTERIOR MULL COVER	4.0 F4 IS A NEW CONSTRUCTION WINDOW IN A NEW LOCATION - SIZE SHOULD MATCH OTHER "F" UNITS AT EXISTING OPENINGS
2.0 NEW CONSTRUCTION WINDOW TO REPLACE EXISTING IN SAME LOCATION. CONTRACTOR TO VERIFY SIZES PRIOR TO FABRICATION.	5.0 WINDOWS TO BE CASEMENTS WITH FALSE CHECK RAIL TO MIMIC A DOUBLE-HUNG UNIT FOR EGRESS PURPOSES - THIS IS ONLY IF A THE SIZE SPECIFIED DOESN'T MEET EGRESS W/ A DOUBLE-HUNG
3.0 NEW CONSTRUCTION WINDOW TO MATCH HEIGHT OF ADJACENT "E" WINDOW	

WINDOW SCHEDULE NOTES - APPLY TO ALL WINDOWS U.N.O.:

- WINDOWS SHALL BE PROVIA WOOD UNITS. ALL WINDOWS TO INCLUDE: SIMULATED DIVIDED LITES W/ BLACK SPACER BARS, LOW E ARGON INSULATED GLASS, ANTIQUE BRASS HARDWARE (FINAL FINISH T.B.D.).
- ALL CASEMENT TYPE WINDOWS SHALL BE PUSH-OUT CASEMENTS. ALL DUAL SASH CASEMENTS SHALL BE FRENCH PUSH-OUT TYPE WITH NO DIVIDING MULLION.
- OPERATING WINDOWS TO INCLUDE INVISIBLE STYLE INSECT SCREENS.
- QUANTITIES AND SIZES LISTED ARE FOR PRICING ONLY. VERIFY FINAL QUANTITIES AND SIZES WITH PLANS AND ELEVATIONS AND EXISTING CONDITIONS PRIOR TO ORDERING.
- PROVIDE TEMPERED AND EGRESS UNITS WHERE REQUIRED BY CODE AND WHERE DESIGNATED ON PLANS.
- PROVIDE DETAILED SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY ARCHITECT PRIOR TO ORDERING WINDOWS.
- SEE ELEVATIONS AND PLANS FOR ALL WINDOW DESIGNATIONS. WINDOWS ARE DENOTED IN PLAN UNLESS NOT VISIBLE IN PLAN IN WHICH CASE THEY ARE KEYED ON THE ELEVATION.
- WINDOWS SHALL MEET ENERGY STAR GUIDELINES FOR NORTHERN ZONE.
- ALL WINDOWS SHALL HAVE CPVC CASINGS AND CPVC HISTORIC SUBSILLS.



MICHAEL SMITH ARCHITECTS  
41 North Main Street Suite 101 Norwalk, Connecticut 06854 203-563.0553



REVISIONS / ADDENDA

ISSUED FOR PERMIT

DATE: 06.23.2025

PROJECT NAME  
Addition & Renovation

OWNER  
Frank Festini  
279 Spruce Street  
Southport, CT 06890

DRAWING TITLE  
BUILDING SECTION & SCHEDULES

DRAWING NUMBER  
A-5

